

**DESCRIPTION OF 7.226 ACRES LOCATED IN LIBERTY TOWNSHIP
TO BE ANNEXED TO THE CITY OF POWELL
EXPEDITED TYPE II ANNEXATION UNDER ORC §709.021 AND §709.023**

Situated in the State of Ohio, County of Delaware, Township of Liberty, Farm Lot 11, Quarter Township 3, Township 3, Range 19, U.S.M.D., and being all of Lots 5124 (Reserve "B") and 5125 of Big Bear Farms Section 10, Lot 4615, Division #1 as recorded in Plat Cabinet 4, Slides 8-8A, said lot 5125 being in the name of Liberty C, LLC of record in Official Record 929, Page 2658 (APN 31934105008000) and said lot 5124 (Reserve "B") being in the name of Liberty Crossing Property Owners Association (APN 31934105007000), and described as follows:

Beginning at the southeast corner of said Lot 5124 Reserve "B", the same being in the north right-of-way line of Attucks Drive (variable width) where the right-of-way return for Sawmill Road (Township Road 119) intersects said north line;

Thence the following four (4) courses and distances along said north right-of-way line;

1. with a curve to the left having a radius of 730.00 feet, a central angle of $10^{\circ} 57' 42''$, an arc length of 139.66 feet and a chord bearing $S 86^{\circ} 39' 02'' W$ for 139.45 feet to a point of tangency;
2. $S 81^{\circ} 10' 11'' W$, 162.00 feet to a point of curvature;
3. with a curve to the right having a radius of 655.00 feet, a central angle of $11^{\circ} 06' 07''$, an arc length of 126.92 feet and a chord bearing $S 86^{\circ} 43' 14'' W$ for 126.72 feet to a point of tangency;
4. $S 87^{\circ} 43' 42'' E$, 3.83 feet to a point of curvature (no-tangent curve) being also in an easterly line of lot 5130 Reserve "A" of said plat more commonly known as the private drive "Liberty Crossing Drive";

Thence the following five (5) courses and distances along said east line;

1. with a curve to the right having a radius of 34.50 feet, a central angle of $40^{\circ} 54' 16''$, an arc length of 24.63 feet and a chord bearing $N 18^{\circ} 10' 50'' W$ for 24.11 feet to a point of tangency;
2. $N 02^{\circ} 16' 18'' E$, 40.05 feet to a point of curvature;
3. with a curve to the right having a radius of 487.50 feet, a central angle of $15^{\circ} 17' 46''$, an arc length of 130.15 feet and a chord bearing $N 09^{\circ} 55' 11'' E$ for 129.76 feet to a point of tangency;
4. $N 17^{\circ} 34' 04'' E$, 184.95 feet to a point of curvature;
5. with a curve to the left having a radius of 2512.50 feet, a central angle of $09^{\circ} 29' 42''$, an arc length of 416.37 feet and a chord bearing $N 12^{\circ} 49' 13'' E$ for 415.89 feet to a point of reverse curve to the right, also being along a south line of said lot 5130 Reserve "A" more commonly known as the private drive "Heath Drive";

Thence the following six (6) courses and distances along said south line;

with a curve to the right having a radius of 19.50 feet, a central angle of $89^{\circ} 31' 28''$, an arc length of 30.47 feet and a chord bearing $N 52^{\circ} 50' 05'' E$ for 27.46 feet to a point of tangency;

$S 82^{\circ} 24' 11'' E$, 52.52 feet to a point of curvature;

with a curve to the right having a radius of 482.50 feet, a central angle of $04^{\circ} 59' 51''$, an arc length of 42.09 feet and a chord bearing $S 79^{\circ} 54' 15'' E$ for 42.07 feet to a point of compound curve;

with a curve to the right having a radius of 482.50 feet, a central angle of $10^{\circ} 40' 16''$, an arc length of 89.86 feet and a chord bearing $S 72^{\circ} 04' 11'' E$ for 89.73 feet to a point of reverse curve;

with a curve to the left having a radius of 316.50 feet, a central angle of $20^{\circ} 20' 58''$, an arc length of 112.41 feet and a chord bearing $S 76^{\circ} 54' 32'' E$ for 111.82 feet to a point of reverse curve;

with a curve to the right having a radius of 34.50 feet, a central angle of $29^{\circ} 31' 20''$, an arc length of 17.78 feet and a chord bearing $S 72^{\circ} 19' 21'' E$ for 17.58 feet to a point;

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-2-

Thence S 87° 19' 46" E, across said Sawmill Road, 30.00 feet to a point in the centerline of said Sawmill Road;

Thence S 02° 40' 14" W, along the centerline of said Sawmill Road, 63.06 feet to a point in the centerline of said Sawmill Road where the existing City of Powell Corporation line intersects from the east;

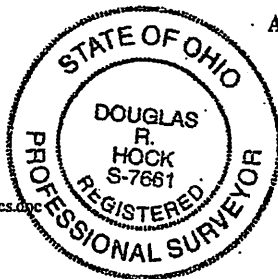
Thence S 02° 40' 14" W, continuing along the centerline of said Sawmill Road, also along said common line between Liberty Township and the existing City of Powell Corporation line, 615.56 feet to a point in the centerline of said Sawmill Road;

Thence N 87° 19' 46" W, leaving said Sawmill Road centerline, 59.72 feet to the *Point of Beginning*. Containing 7.226 acres of land, more or less. The above description was written by Douglas R. Hock, P.S. 7661 on July 8, 2014. A drawing of the above description has been prepared and is a part hereof.

The total length of the annexation perimeter is about 2342 feet; of which about 616 feet are contiguous with an existing City of Powell Corporation Line, being about 26% contiguous. This annexation does not create any islands of township property.

This description was written for annexation purposes only and is not intended to be used in the transfer of lands and is based on the existing plat for Big Bear Farms Section 10, Lot 4615, Division #1 as recorded in Plat Cabinet 4, Slides 8-8A.

References herein are to the records of the Delaware County Recorder's Office.



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock 8/28/14
Douglas R. Hock, P.S. 7661

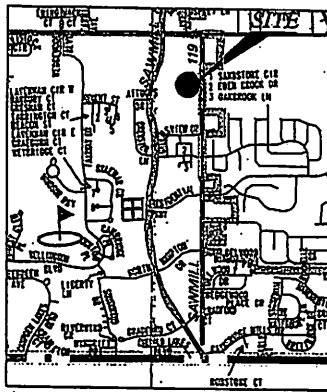
ZA\14-0005-565\SURVEY\ANNX_Desc 7.226 acres.doc

**DELAWARE COUNTY ENGINEER
Map Department**

I hereby certify the within to be a true
copy of the original on file in the Map Department

*Chris E. Bauserman, P.E., P.S.,
County Engineer*

Chris E. Bauserman 8/30/14



Location Map - NTS

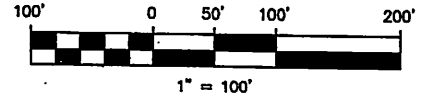
Length of Contiguity: ± 616 feet
Total Length of Perimeter: ± 2342 feet
Percentage of Contiguity: $\pm 26\%$

No islands of township property are created by this annexation as defined in ORC 709.023(E)(5).

LEGEND

- Area to be Annexed
- Existing Corp Line
- Proposed Corp Line

Map of Territory to be Annexed to the City of Powell
7.226 ACRE ANNEXATION TO THE CITY OF POWELL FROM TOWNSHIP OF LIBERTY EXPEDITED TYPE II ANNEXATION UNDER ORC §709.021 AND §709.023
Township of Liberty, Delaware County, Ohio
Farm Lot 11, Quarter Township 3, Township 3, Range 19, United States Military District



CURVE TABLE					
NO.	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	730.00'	10°57'42"	139.66'	S86°39'02"W	139.45'
C2	655.00'	11°06'07"	126.92'	S86°43'14"W	126.72'
C3	34.50'	40°54'16"	24.63'	N18°10'50"W	24.11'
C4	487.50'	15°17'46"	130.15'	N09°55'11"E	129.76'
C5	19.50'	89°31'28"	30.47'	N52°50'05"E	27.46'
C6	482.50'	4°59'51"	42.09'	S79°54'15"E	42.07'
C7	482.50'	10°40'16"	89.86'	S72°04'11"E	89.73'
C8	316.50'	20°20'58"	112.41'	S76°54'32"E	111.82'
C9	34.50'	29°31'20"	17.78'	S72°19'21"E	17.58'

LINE TABLE		
LINE	LENGTH	BEARING
L1	3.83'	S87°43'42"E
L2	40.05'	N02°16'18"E
L3	52.52'	S82°24'11"E
L4	30.00'	S87°19'46"E
L5	63.06'	S02°40'14"W
L6	59.72'	N87°19'46"W

Lot 5130 (Reserve "A")
Big Bear Farms
Section 10
Lot 4615, Division #1
P.C. 4, Slides 8-8A
O.R. 858, Pg. 1086
(All Private Drives Shown)

$\Delta = 9°29'42"$
 $R = 2512.50'$
 $Arcl = 416.37'$
 $ChB = N12°49'13"E$
 $ChD = 415.89'$

Lot 5125
Liberty C, LLC
O.R. 929, Page 2858
APN 31934105008000

Lot 5124 Reserve "B"
Liberty Crossing
Property Owners
Association
Vol. 887 Pg. 657
APN 31934105007800

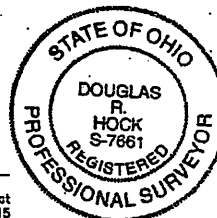
Notes:

- 1.) The number of owners in the territory sought to be annexed is two.
- 2.) Liberty C, LLC is located at Liberty Crossing Drive, Powell, Ohio and is the petitioner for said proposed annexation.

Douglas R. Hock, P.S. 7861
Advanced Civil Design, Inc.
422 Beecher Road
Gahanna, OH 43230
Phone 614-428-7750

This drawing is based on the existing plat for Big Bear Farms Section 10, Lot 4615 Division #1 as recorded in Plat Cabinet 4, Slide 8.

Job No.: 14-000-565 Date: 07/08/2014



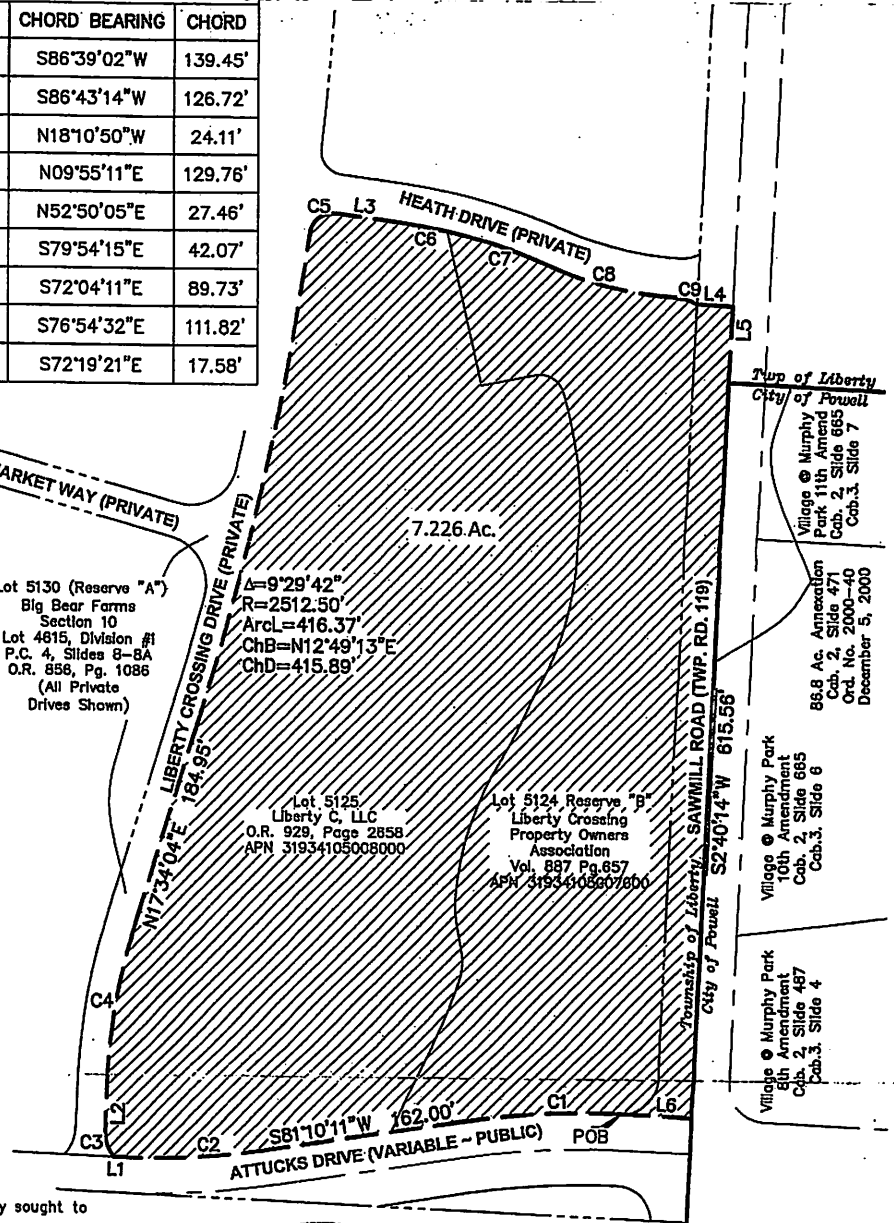
DELAWARE COUNTY ENGINEER
Map Department

I hereby certify the within to be a true copy of the original on file in the Map Department

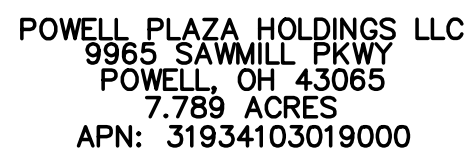
Chris E. Bauserman, P.E., P.S.,
County Engineer

Supervisor

8/30/14
Date



SPECTRUM
ASSISTED LIVING
CITY OF POWELL, OHIO



EQUITY TRUST COMPANY
3878 ATTUCKS DR
POWELL, OH 43065
333 ACRES
APN: 31934105002003

LIBERTY B LLC
SAWMILL PKWY
POWELL, OH 43065
4.986 ACRES
APN: 31934105002001

DACON HOLDINGS LLC
3835 LIBERTY MARKET WAY
POWELL, OH 43065
.47 ACRES
APN: 31934105002002

RETAIL ROCKS II LLC
9711 SAWMILL PKWY
POWELL, OH 43065
4.575 ACRES
APN: 31934105003000

LIBERTY C LLC
LIBERTY CROSSINGS DR.
POWELL, OH 43065
APN: 31934105008000
4.37 ACRES

LIBERTY CROSSINGS PROPERTY
OWNERS ASSOCIATION
SAWMILL PARKWAY
POWELL, OH 43065
2.38 ACRES
APN: 31934105007000

TUTOR TIME 1 2 3 LLC
3731 DISCOVERY LN
POWELL, OH 43065
1.724 ACRES
APN: 31934105006000

- SEE NOTE THIS SHEET

WEDGEWOOD OFFICE PARK LLC
3751 ATTUCKS DR
POWELL, OH 43065
6.38 ACRES
APN: 31934103019003

EPCON SAWMILL LLC
9901 SAWMILL RD
POWELL, OH 43065
2.622 ACRES
APN: 31943202010001

HULLINGER, GERALDINE S
465 CHARLESCARN DR
POWELL, OH 43065
0 ACRES
APN: 31943202010569

ROMER ANN M
479 CHARLES SPRING DR
POWELL, OH 43065
0 ACRES
APN: 31943202010595

MILLS RICHARD P
436 CHARLES SPRING DR
POWELL, OH 43065
0 ACRES

MILLS RICHARD P
436 CHARLES SPRING DR
POWELL, OH 43065
0 ACRES

MATTIS PROPERTIES LLC
9665 SAWMILL RD
POWELL, OH 43065
3.53 ACRES
APN: 31943202008000

1	TITLE SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
3	UTILITY PLAN

SITUATED IN THE TOWNSHIP OF LIBERTY, COUNTY OF
DELAWARE, STATE OF OHIO, DESCRIBED AS FOLLOWS:

SITUATED IN THE STATE OF OHIO, COUNTY OF DELAWARE,
TOWNSHIP OF LIBERTY, IN FARM LOT 11, QUARTER TOWNSHIP 3,
TOWNSHIP 3, RANGE 19 WEST, UNITED STATES MILITARY LANDS
AND BEING ALL OF LOT 5125, AS THE SAME IS NUMBERED AND
DELINEATED ON PLAT OF SUBDIVISION OF BIG BEAR FARMS
SECTION 10, LOT 4615, DIVISION #1, OF RECORD IN PLAT
CABINET 4, SLIDES 8--8A, OFFICIAL RECORD 856, PAGE 1086 -
1087, RECORDER'S OFFICE, DELAWARE COUNTY, OHIO.

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 500-year flood plain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel Nos. 39041C0237K and 39041C0239K, with an effective date of June 17, 2008, in Franklin County, Ohio. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

SITE IS VACANT WITH EXISTING UNDERGROUND UTILITIES.

SPECTRUM RETIREMENT COMMUNITIES
200 SPRUCE STREET, SUITE 200
DENVER, CO 80230
303-360-8812

ADVANCED CIVIL DESIGN
422 BEECHER ROAD
GAHANNA, OHIO 43230
614-428-7750

DAVID BETZ
47 HALL STREET
POWELL, OH 43065
614-885-5380 EXT 1033 BETZ EXT 1031 FISCHER
DBETZ@CITYOFPOWELL.US
EFISCHER@CITYOFPOWELL.US

TUTOR TIME 1 2 3 LLC 3731 DISCOVERY LANE POWELL, OH 43065	POWELL PLAZA HOLDINGS LLC 9965 SAWMILL PKWY. POWELL, OH 43065
MATTIS PROPERTIES LLC 9721 SAWMILL RD. POWELL, OH 43065	LIBERTY B LLC SAWMILL PKWY. POWELL, OH 43065
BELL LESLIE J. 432 CHARLES SPRING DR. POWELL, OH 43065	EQUITY TRUST COMPANY 3878 ATTUCKS DR. POWELL, OH 43065
HART ROSEMARY 463 CHARLES SPRING DR. POWELL, OH 43065	DACOH HOLDINGS LLC 3833 LIBERTY MARKET WAY POWELL, OH 43065
ANDRIETTI SAMUEL D. 432 CHARLES SPRING DR. POWELL, OH 43065	RETAIL ROCKS II LLC 9711 SAWMILL PKWY., STE. A POWELL, OH 43065
EPCON SAWMILL LLC 9901 SAWMILL RD. POWELL, OH 43065	
WEDGEWOOD OFFICE PARK LLC 3751 ATTUCKS DR. POWELL, OH 43065	

NOTE: PARCELS APN: 3193415008000 & 31934105007000 ARE CURRENTLY UNDERGOING ANNEXATION INTO THE THE CITY OF POWELL.



ADVANCED

CITY OF POWELL / DELAWARE COUNTY, OHIO
 CIOATED IN VARIOUS COUNTRIES AND...

CITY OF POWELL / DELAWARE COUNTY, OHIO
ASSISTED LIVING COMMUNITY

**PRELIMINARY DEVELOPMENT PLAN
FOR
SPECTRUM RETIREMENT COMMUNITIES, LLC.**

TITLE SHEET

Issue Dates:

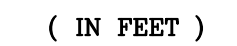
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Drawn By: STB	Checked By: JDW
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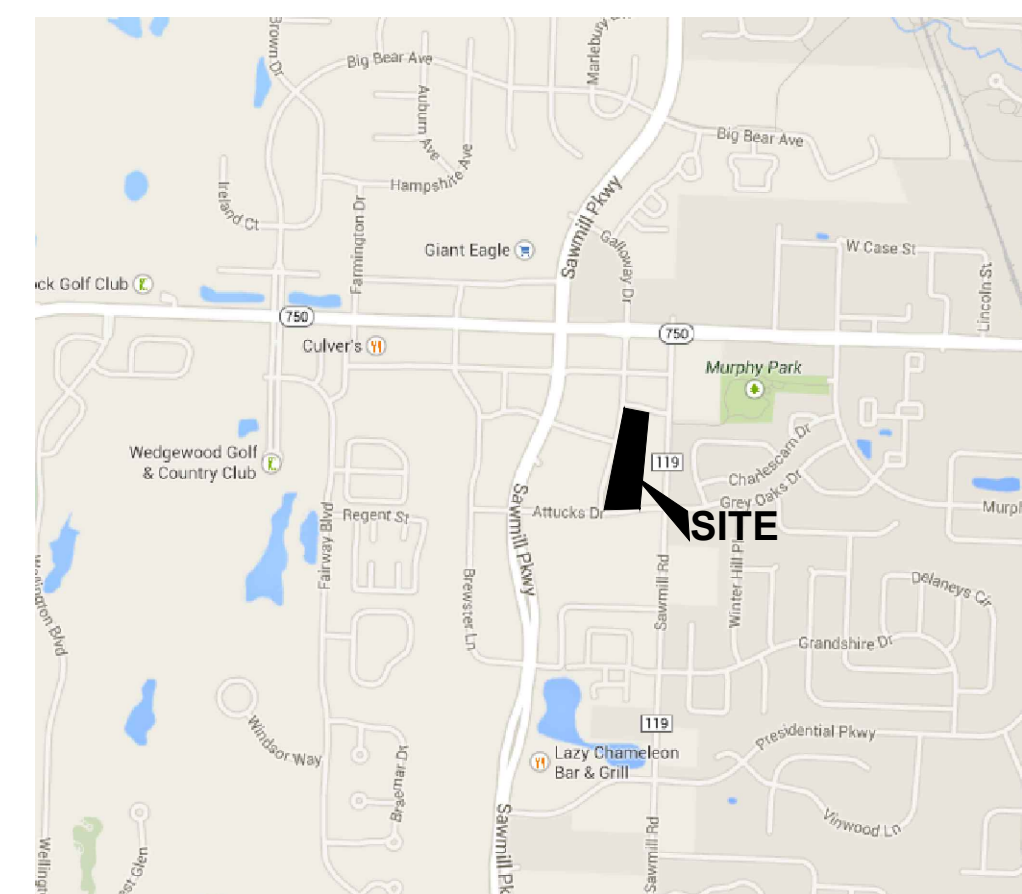
Project Number:
14-0005-565

Drawing Number:

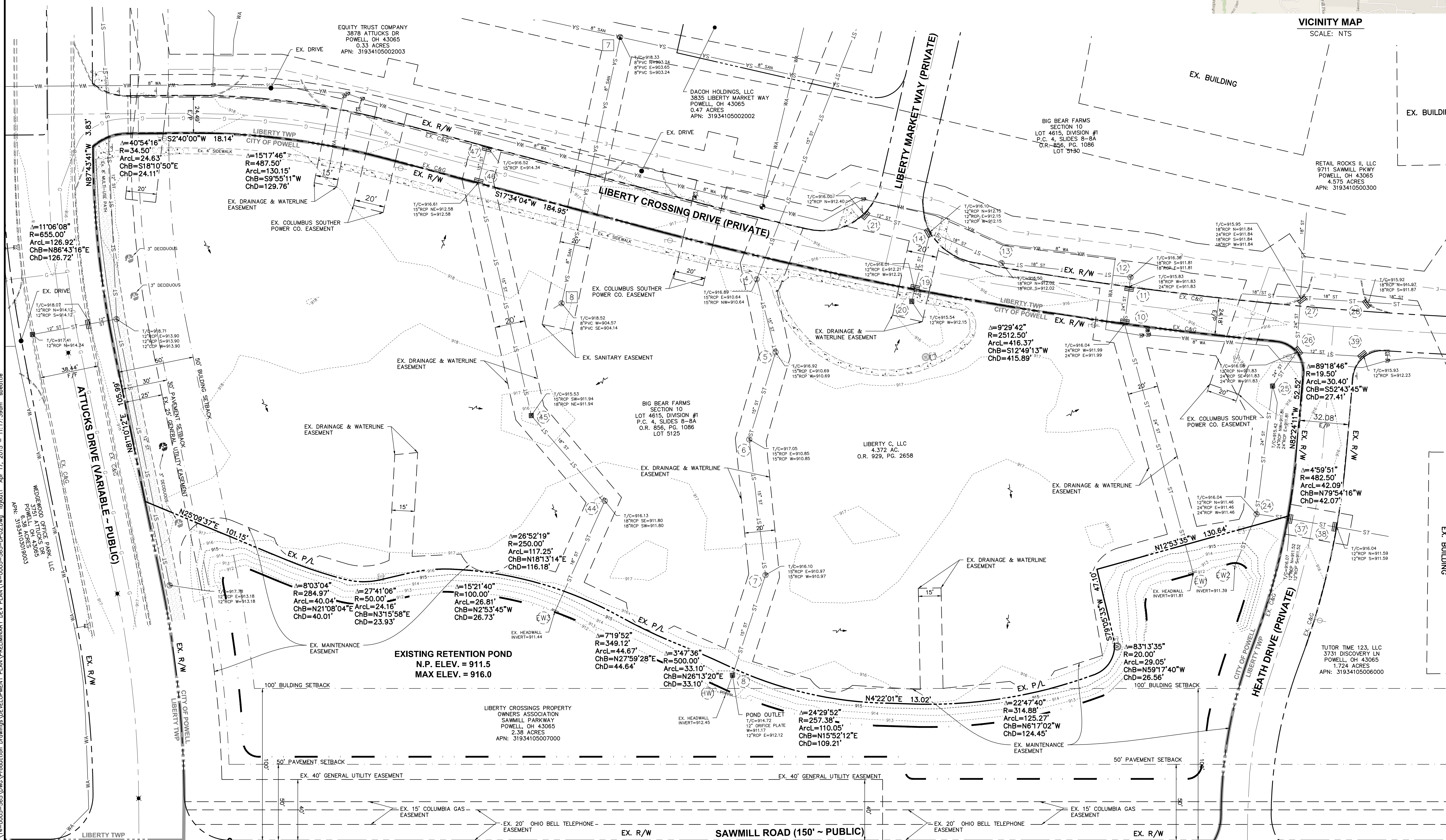
1 / 4



LEGEND			
● Iron Pin Found	○ Iron Pin Set W / Cap	☼ Pine Tree	⌚ Pole Elec Tel Light
✱ PK Nail Found	✱ PK Nail Set	☪ Shrub	⌚ Pole Tel
▲ RR Spike Found	△ RR Spike Set	⊙ Sanitary Manhole	⌚ Pole Tel Light
M Monument Box	M Monument	∞ Sanitary Cleanout	⌚ Pole Light
⊖ Concrete Post	EL Electric Manhole	ST Storm Manhole	⌚ Pole Signal
△ Tacked Hub / Trav Pt	ET Electric Transformer	▢ Catch Basin	TR Traffic Box
⊕ Post Sign / Lamp	CM Comm Manhole	≡ Curb Inlet W / Grate	⊖ Guy Pole
⌒ Sign	T Tel Pedestal	⌒ Gas Valve	⊖ Guy Wire
H Billboard / OH Sign	⊕ Pole Elec	G Gas Meter	⌚ Fire Hydrant
Deciduous Tree	⊕ Pole Elec Tel	└ Underground Line Marker	⌚ Water Valve
SP Sprinkler Valve Box	W Monitoring Well	MB Mailbox	→ Ex. Surface Flow



VICINITY MAP
SCALE: NTS



PLAN PREPARED BY:



422 Beecher Road
Sahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755



CITY OF POWELL / DELAWARE COUNTY, OHIO

ASSISTED LIVING COMMUNITY

PRELIMINARY DEVELOPMENT PLAN

FOR

SPECTRUM RETIREMENT COMMUNITIES, LLC.

EXISTING CONDITIONS

Issue Dates:

Date: 04/16/15
Scale: 1" = 30'

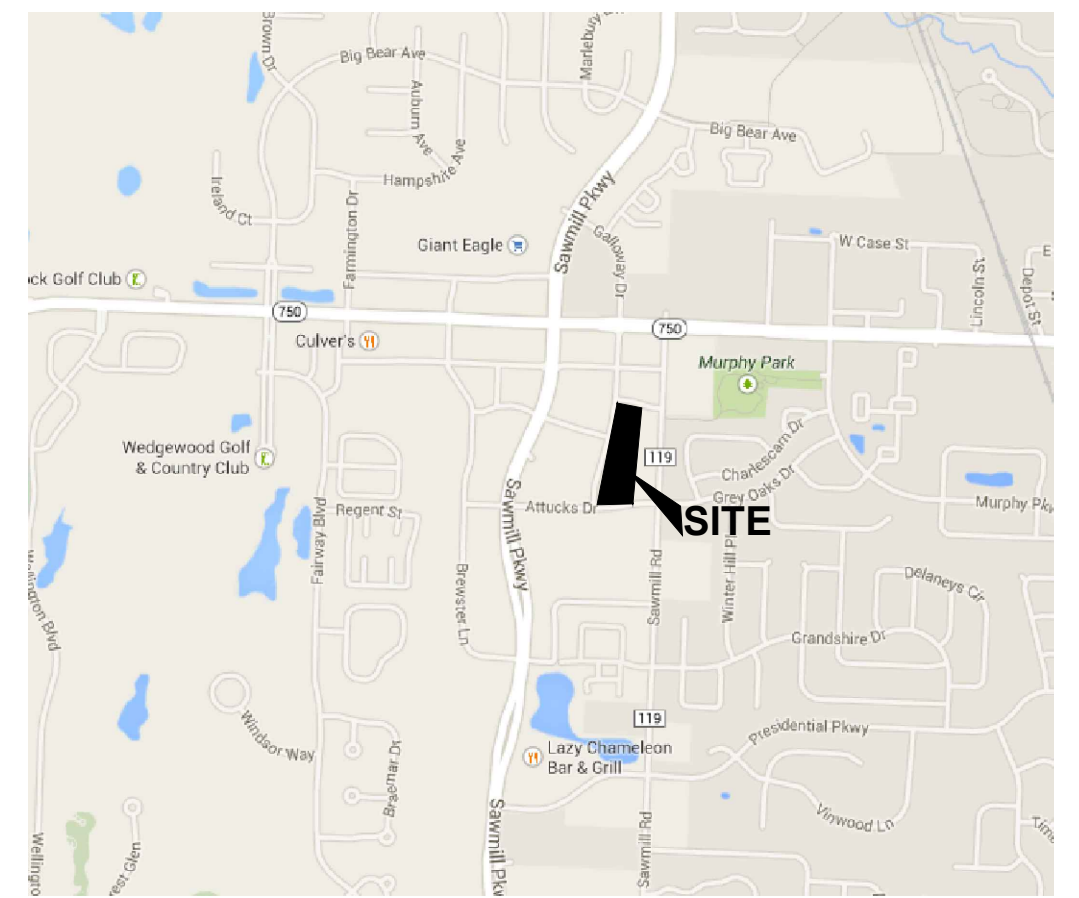
Drawn By: STB	Checked By: JDW
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Project Number:
14-0005-565

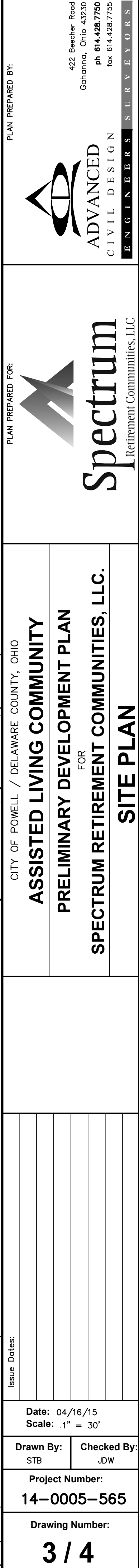
Drawing Number:

2 / 4

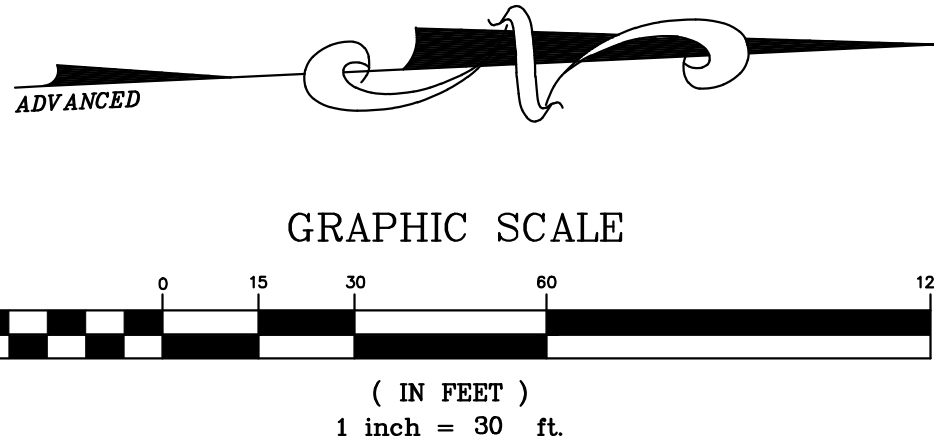
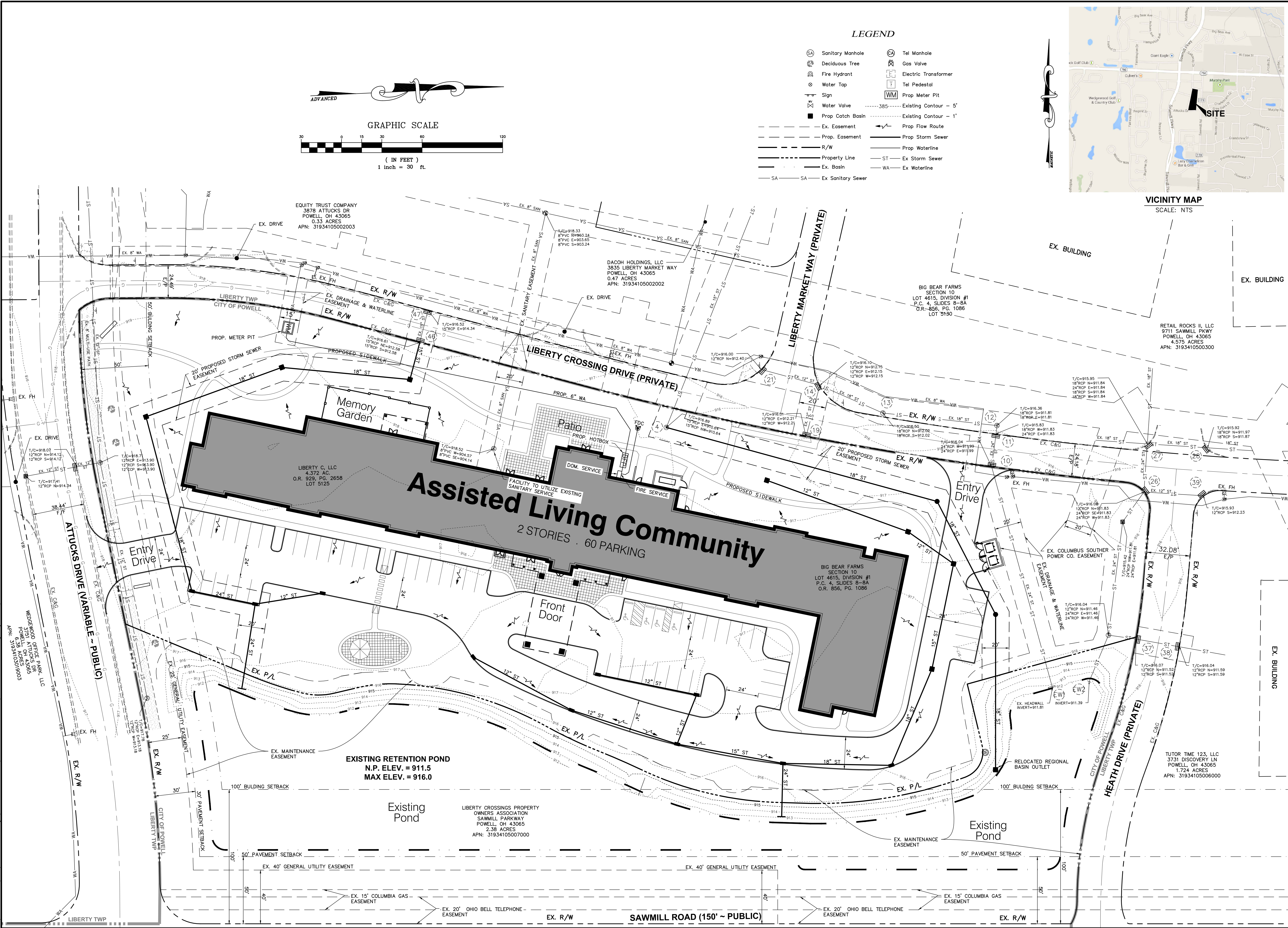
SOIL:	Big1A1	PARKING CALCULATIONS:	
ZONING DISTRICT:.....	PC-PLANNED COMMERCIAL DISTRICT	HANDICAPPED SPACES.....	4 SPACES
PROPOSED USE:.....	ASSISTED LIVING COMMUNITY	PAVEMENT/SURFACE SPACES.....	56 SPACES
PROPOSED ZONING:.....	PC-PLANNED COMMERCIAL DISTRICT	TOTAL SPACES	60 SPACES
TOTAL PROPERTY AREA:.....	4.372 ACRES (190,437 SF)		
SITE AREA:.....	4.372 ACRES (190,437 SF)	SETBACKS:	
SITE COVERAGE PROVIDED:.....	2.076 ACRES (90,440 SF - 47.5%)	MIN STREET FRONTAGE.....	160 FT
ALLOWABLE SITE COVERAGE:.....	3.060 ACRES (133,306 SF - 70%)	MIN SIDE YARD.....	25 FT
TOTAL BUILDING AREA:.....	38,730 SF (20%)	MIN FRONT YARD.....	150 FT
TOTAL ALLOWABLE BUILDING AREA:.....	38,087 SF (20% MAXIMUM)	MIN REAR YARD.....	30 FT
MAIN BUILDING.....	38,730 SF	MAX LOT COVERAGE.....	20%
PAVEMENT/SIDEWALK AREA:.....	51,710 SF	MAX BUILDING HEIGHT.....	35 FT
		MIN DISTANCE BETWEEN BUILDINGS.....	50 FT



VICINITY MAP
SCALE: NTS



G:\14-0005-565 DWG\Production Drawings\Development Plan\PRELIMINARY DEV PLAN\14-0005-565-dp04.dwg layout1 Apr 23, 2015 9:38:40am abettie



- LEGEND**
- | | |
|------------------|-----------------------|
| Sanitary Manhole | Tel Manhole |
| Deciduous Tree | Gas Valve |
| Fire Hydrant | Electric Transformer |
| Water Tap | Tel Pedestal |
| Sign | Prop Meter Pit |
| Water Valve | Existing Contour - 5' |
| Prop Catch Basin | Existing Contour - 1' |
| Ex. Easement | Prop Flow Route |
| Prop. Easement | Prop Storm Sewer |
| R/W | Prop Waterline |
| Property Line | ST Ex Storm Sewer |
| Ex. Basin | WA Ex Waterline |
| SA | SA Ex Sanitary Sewer |

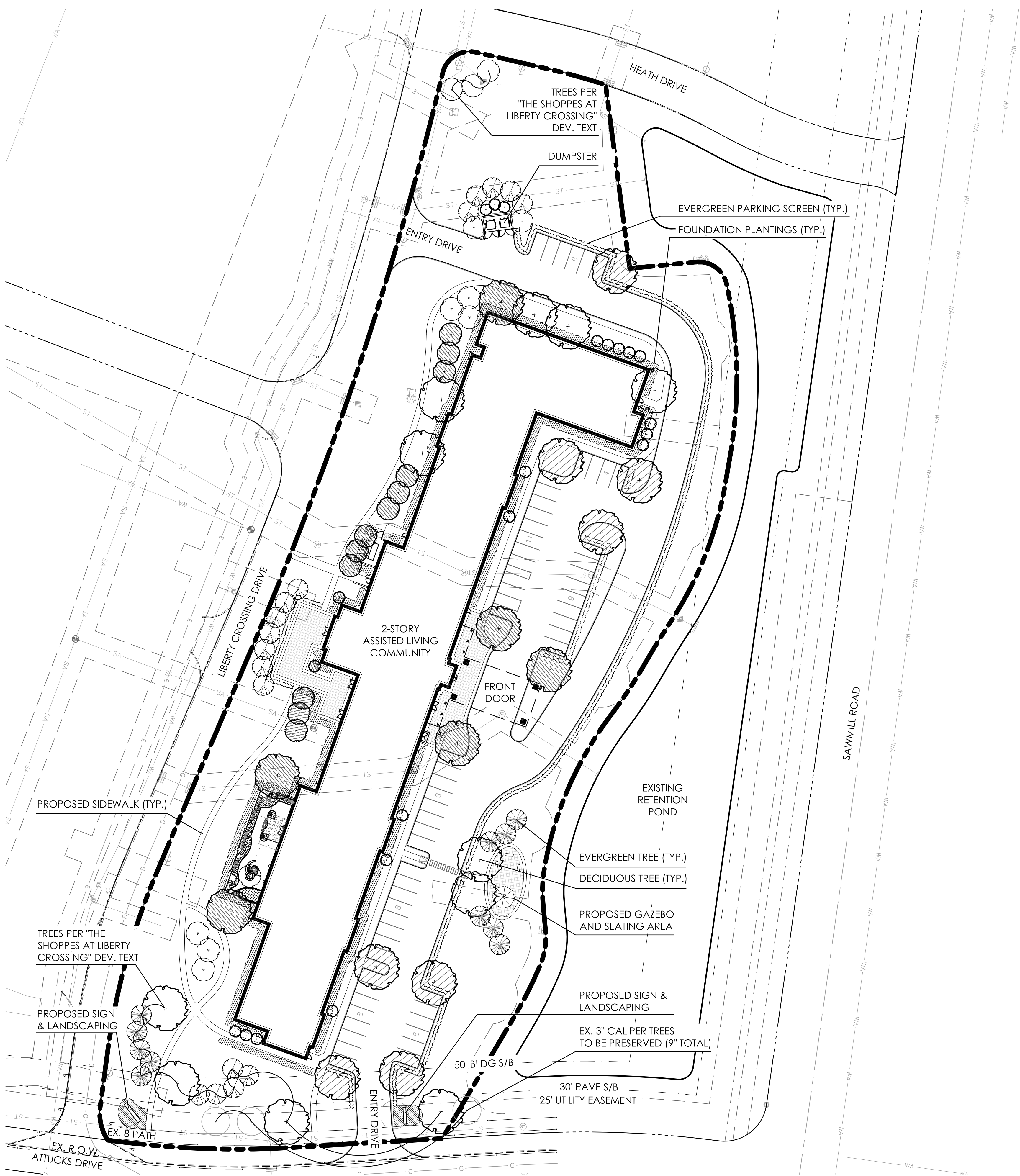


PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
422 Beecher Road
Columbus, Ohio 43230
ph 614-428-7750
fax 614-428-7750

PLAN PREPARED FOR: Spectrum Retirement Communities, LLC
ASSISTED LIVING COMMUNITY
PRELIMINARY DEVELOPMENT PLAN
FOR
SPECTRUM RETIREMENT COMMUNITIES, LLC.
UTILITY PLAN

Issue Dates:

Date:	04/16/15
Scale:	1" = 30'
Drawn By:	STB
Checked By:	JDW
Project Number:	14-0005-565
Drawing Number:	4 / 4



LEGEND

- 1145.30 REQUIREMENT TREE
- 1145.31 REQUIREMENT TREE

1145.30 MINIMUM REQ.'D TREES

REQUIRED	PROPOSED
MIN. OF 57 CALIPER INCHES FOR 76,436 SQ. FT. OF COVERAGE	9" PRESERVED TREES + 20 TREES @ 2 1/2" CAL. FOR 59 TOTAL CALIPER INCHES

1145.31 PARKING AREA TREE REQ.'S

REQUIRED	PROPOSED
MIN. 1 TREE @ 1 1/2" CAL. PER 8 SPACES	MIN. 8 TREES @ 1 1/2" CAL. FOR 60 SPACES

1145.32 BLDG. FOUNDATION REQ.'S

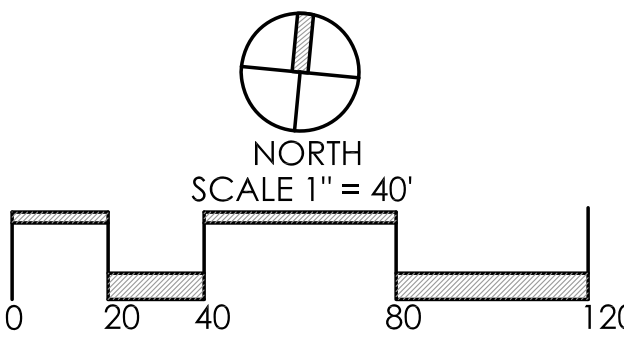
REQUIRED	PROPOSED
MINIMUM: 70% PLANTED 5 SHRUBS/40 L.F. PERIMETER 10 PERENNIALS OR ANNUALS/40 L.F. PERIMETER	MINIMUM: 70% PLANTED 185 SHRUBS FOR 1,470 L.F. PERIMETER 370 PERENNIALS OR ANNUALS FOR 1,470 L.F. PERIMETER

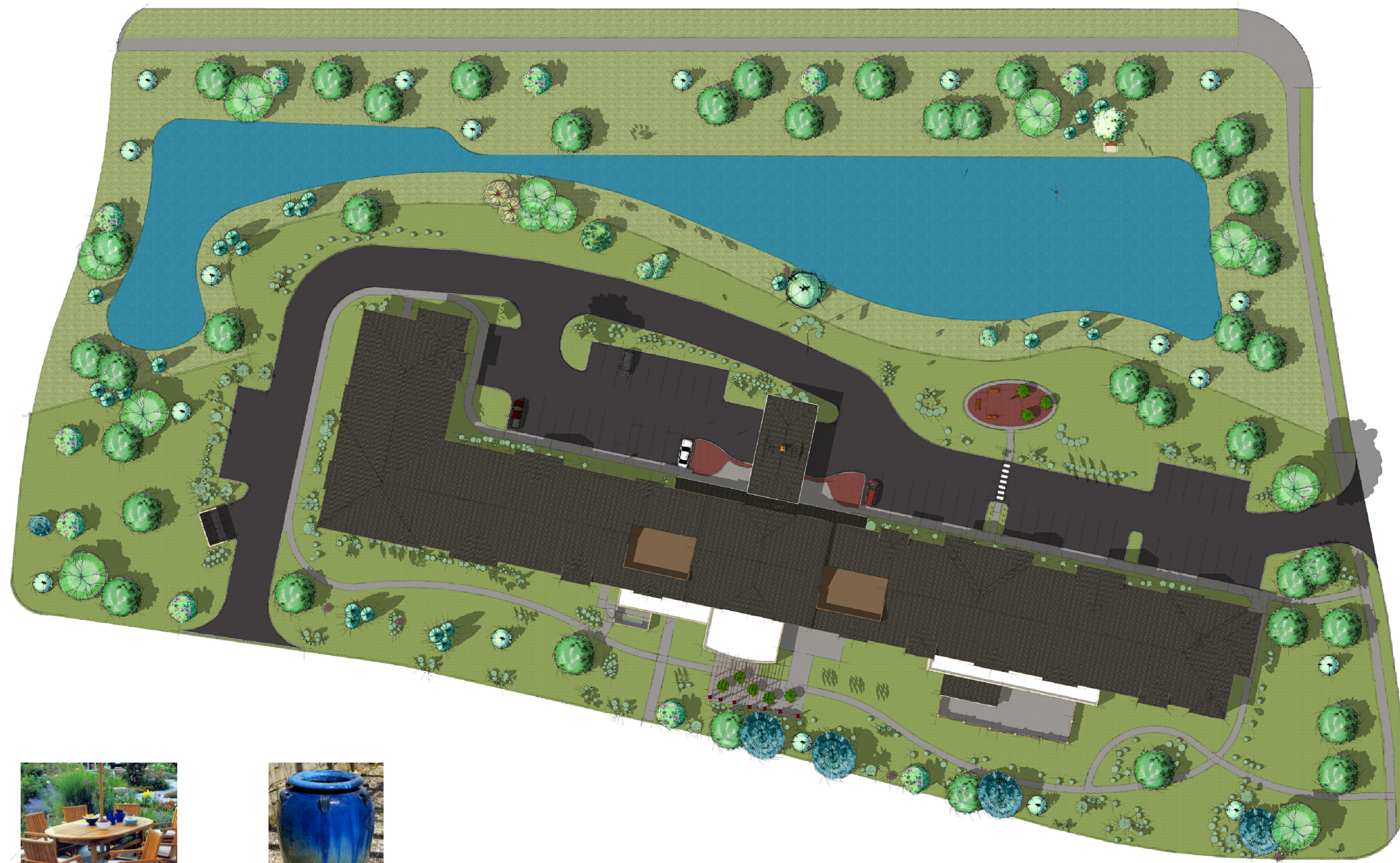
PRELIMINARY DEVELOPMENT LANDSCAPE PLAN

SPECTRUM POWELL II

PREPARED FOR ADVANCED CIVIL DESIGN

DATE: 4.23.15





BENCH



SCORED CONCRETE
AT PATIOS



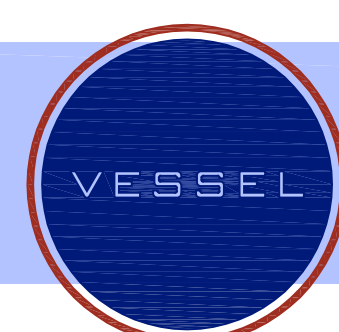
PATIO TABLES



PLANTERS

SPECTRUM POWELL II

SITE PLAN





Enlarged Entry

DECORATIVE TRIM
DETAILS
ARCHITECTURAL GRADE SHINGLES
PORTE COCHERE
LAP STYLE SIDING
MASONRY



North

DECORATIVE RAILING AND TRIM DETAILS
ARCHITECTURAL GRADE SHINGLES
LAP STYLE SIDING
MASONRY



South

ARCHITECTURAL GRADE SHINGLES
LAP STYLE SIDING
MASONRY



West

ARCHITECTURAL GRADE SHINGLES
LAP STYLE SIDING
MASONRY

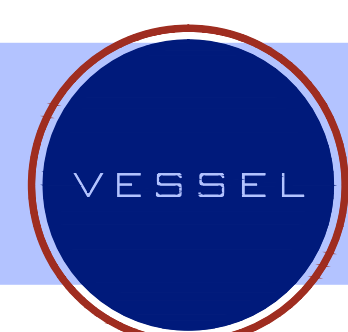


East

DECORATIVE RAILING
AND TRIM DETAILS
ARCHITECTURAL GRADE SHINGLES
LAP STYLE SIDING
MASONRY

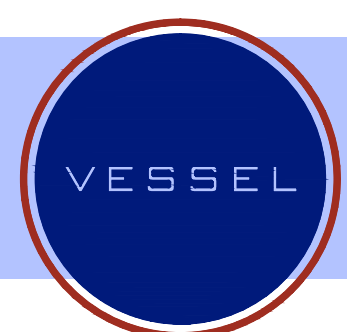
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0 5' 10' 20'

SPECTRUM POWELL II ELEVATIONS





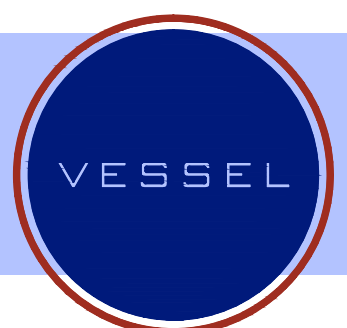
SPECTRUM POWELL II RENDERING



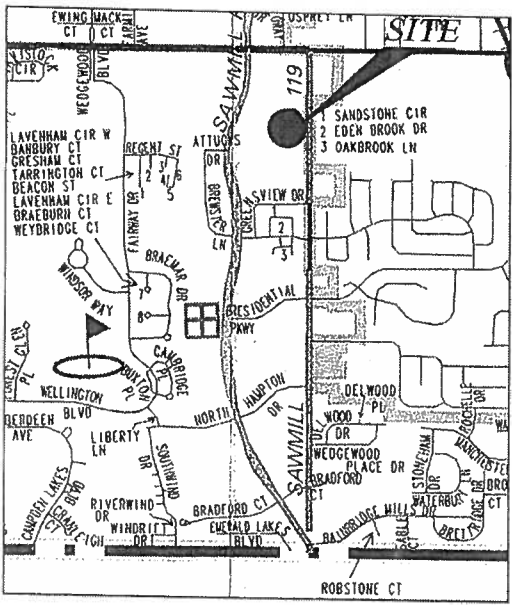
600 Emerson Rd. Suite 100 . St Louis, Missouri 63141 . p:314.521.0123 . www.vesselarchitecture.com



SPECTRUM POWELL II RENDERING



600 Emerson Rd. Suite 100 . St Louis, Missouri 63141 . p:314.521.0123 . www.vesselarchitecture.com



Location Map - NTS

Length of Contiguity: ± 616 feet
Total Length of Perimeter: ± 2342 feet
Percentage of Contiguity: $\pm 26\%$

No islands of township property are created by this annexation as defined in ORC 709.023(E)(5).

LEGEND



Area to be Annexed



Existing Corp Line

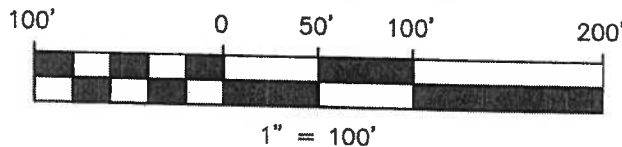


Proposed Corp Line

Map of Territory to be
Annexed to the City of Powell

**7.226 ACRE ANNEXATION
TO THE CITY OF POWELL
FROM TOWNSHIP OF LIBERTY
EXPEDITED TYPE II ANNEXATION
UNDER ORC §709.021 AND §709.023**

Township of Liberty, Delaware County, Ohio
Farm Lot 11, Quarter Township 3, Township 3, Range 19,
United States Military District



CURVE TABLE

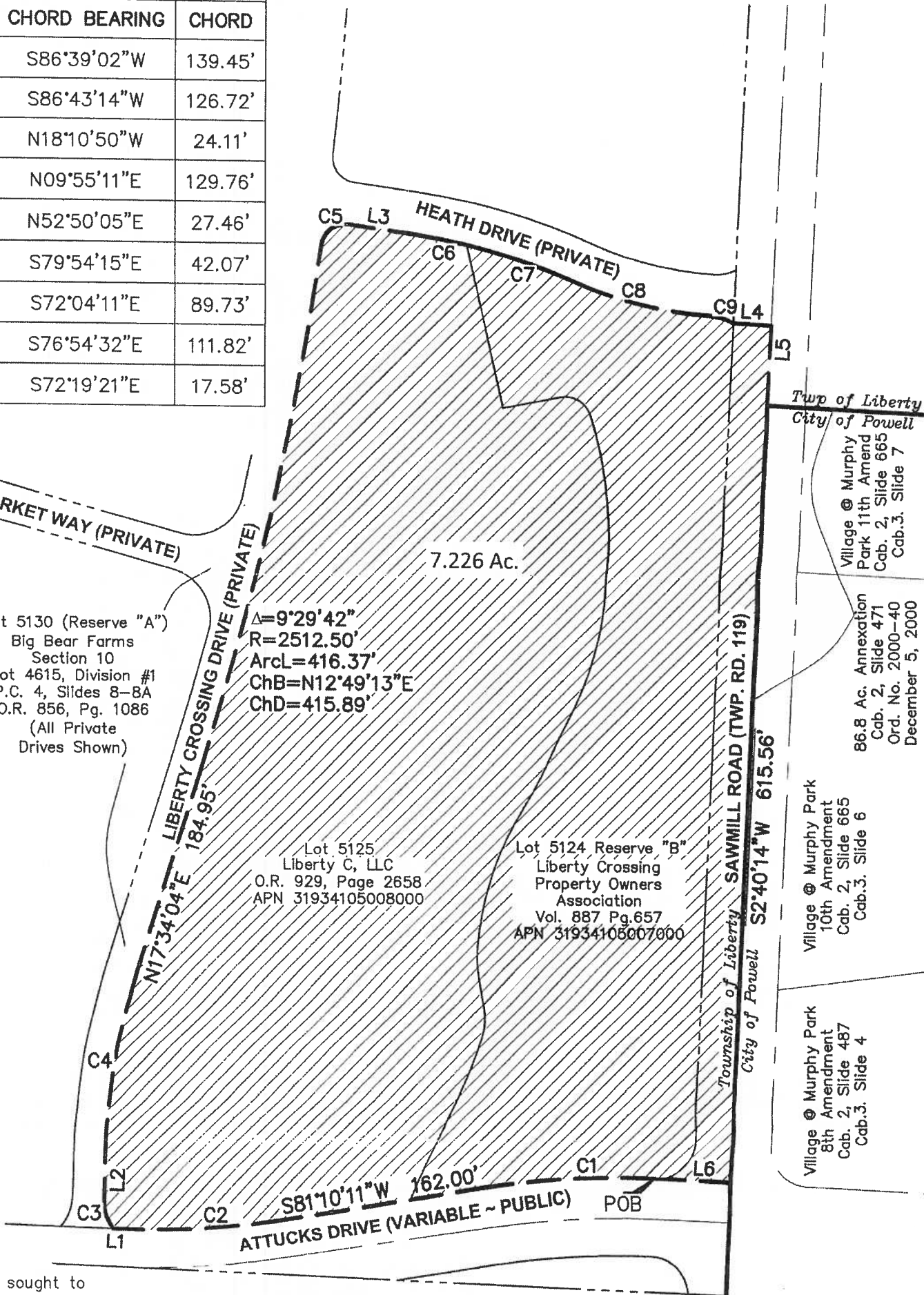
NO.	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	730.00'	10°57'42"	139.66'	S86°39'02"W	139.45'
C2	655.00'	11°06'07"	126.92'	S86°43'14"W	126.72'
C3	34.50'	40°54'16"	24.63'	N18°10'50"W	24.11'
C4	487.50'	15°17'46"	130.15'	N09°55'11"E	129.76'
C5	19.50'	89°31'28"	30.47'	N52°50'05"E	27.46'
C6	482.50'	4°59'51"	42.09'	S79°54'15"E	42.07'
C7	482.50'	10°40'16"	89.86'	S72°04'11"E	89.73'
C8	316.50'	20°20'58"	112.41'	S76°54'32"E	111.82'
C9	34.50'	29°31'20"	17.78'	S72°19'21"E	17.58'

LIBERTY MARKET WAY (PRIVATE)

Lot 5130 (Reserve "A")
Big Bear Farms
Section 10
Lot 4615, Division #1
P.C. 4, Slides 8-8A
O.R. 856, Pg. 1086
(All Private
Drives Shown)

LINE TABLE

LINE	LENGTH	BEARING
L1	3.83'	S87°43'42"E
L2	40.05'	N02°16'18"E
L3	52.52'	S82°24'11"E
L4	30.00'	S87°19'46"E
L5	63.06'	S02°40'14"W
L6	59.72'	N87°19'46"W



Twp of Liberty
City of Powell
Village @ Murphy
Park 11th Amend
Cab. 2, Slide 665
Cab. 3, Slide 7
86.8 Ac. Annexation
Cab. 2, Slide 471
Ord. No. 2000-40
December 5, 2000

Village @ Murphy Park
10th Amendment
Cab. 2, Slide 665
Cab. 3, Slide 6

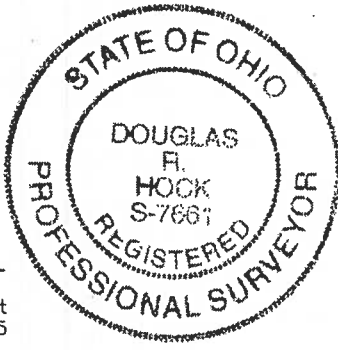
Village @ Murphy Park
8th Amendment
Cab. 2, Slide 487
Cab. 3, Slide 4

Notes:

- 1.) The number of owners in the territory sought to be annexed is two.
- 2.) Liberty C, LLC is located at Liberty Crossing Drive, Powell, Ohio and is the petitioner for said proposed annexation.

Douglas R. Hock, P.S. 7661
Advanced Civil Design, Inc
422 Beecher Road
Gahanna, OH 43230
Phone 614-428-7750

This drawing is based on the existing plat for Big Bear Farms Section 10, Lot 4615 Division #1 as recorded in Plat Cabinet 4, Slide 8.
Job No.: 14-000-565 Date: 07/08/2014



DELAWARE COUNTY ENGINEER
Map Department

I hereby certify the within to be a true
copy of the original on file in the Map Department

Chris E. Bauserman, P.E., P.S.,
County Engineer

Supervisor

8/30/14
Date